ELLIOTT SOUTH

DESIGN REVIEW

SALT LAKE CITY, UTAH

BOYER

AO

SHEET INDEX

APPLICANT/OWNER
THE BOYER COMPANY
Nicholai Lazarev
nlazarev@boyercompany.com

RESIDENTIAL ARCHITECT
AO
Ioanna Magiati
ioannam@aoarchitects.com
Jose Ho
joseh@aoarchitects.com

LANDSCAPE ARCHITECT
AO
Diego Alessi
diegoa@aoarchitects.com

CIVIL ENGINEER
CIR ENGINEERING
Scott Thorsen
scott@cirengineering.com

Located Southwest of the site of the former Wolfe Sporting Goods warehouse, this proposed 62-unit urban apartment community is situated in the heart of the Central Ninth District, a growing enclave aspiring to deliver unique experiences and exceptional spaces appealing to the next generation of young professionals. Paying homage to prominent Salt Lake City businessman, sports enthusiast, and owner of Wolfe Sporting Goods Elliott Mitchell Wolfe, **ELLIOTT SOUTH** celebrates the local mountain scenery and adventurous spirit of its namesake.

Comprising of a podium building west of Richards Street, the design concept behind **ELLIOTT SOUTH** envisions the building as a granite mountain sculpture which have been gradually separated over time. The interior of the sculpture opens to reveal surprising layers of rock exposing different minerals and veins. The architecture features an array of inserts and reveals, expressed as recessed balconies and vertical circulation that are visible from outside.

The building façades provide breaks both vertically and horizontally using architectural projections, fur-outs, enhanced materials, and changes in color and texture. The angled walls on the top of the building along the North and East facades allow for a pulsating, dynamic play with reflections and shadows as the daylight changes, altering the way viewers perceive the massing. Together, these design choices balance the vertical and horizontal articulation, enriching the urban environment and emphasizing the dynamic pedestrian realm.

Overall, the proposed development gives the North-South connection along Richard Street the potential to become a vibrant and engaging public space that supports and promotes public interest at a pedestrian level.

The ground level of the **ELLIOTT SOUTH**, with its series of wall canvases for local street artists, will be a key part of this. By providing a dedicated space for street artists to showcase their work, the City is creating a public place where people can come together to appreciate art, connect with others, and explore their city in new ways.

Centrally located at 846 Richards Street with easy access to TRAX, the freeway, and city street corridors, **ELLIOTT SOUTH** consists of a single 7-story building with subterranean parking, 62 residential units, and 2,697 square feet of shared outdoor amenities located on the third floor and 320 square feet of work studios located on the ground floor.

Aligning with Salt Lake City's vision for a vibrant urban realm, **ELLIOTT SOUTH** is poised to provide attractive, high-quality housing and deliver a prosperous, walkable community for current and future residents.

BOYER

ELLIOTT SOUTH
SALT LAKE CITY, UT

LOCATION OF PROPOSED DEVELOPMENT

AO

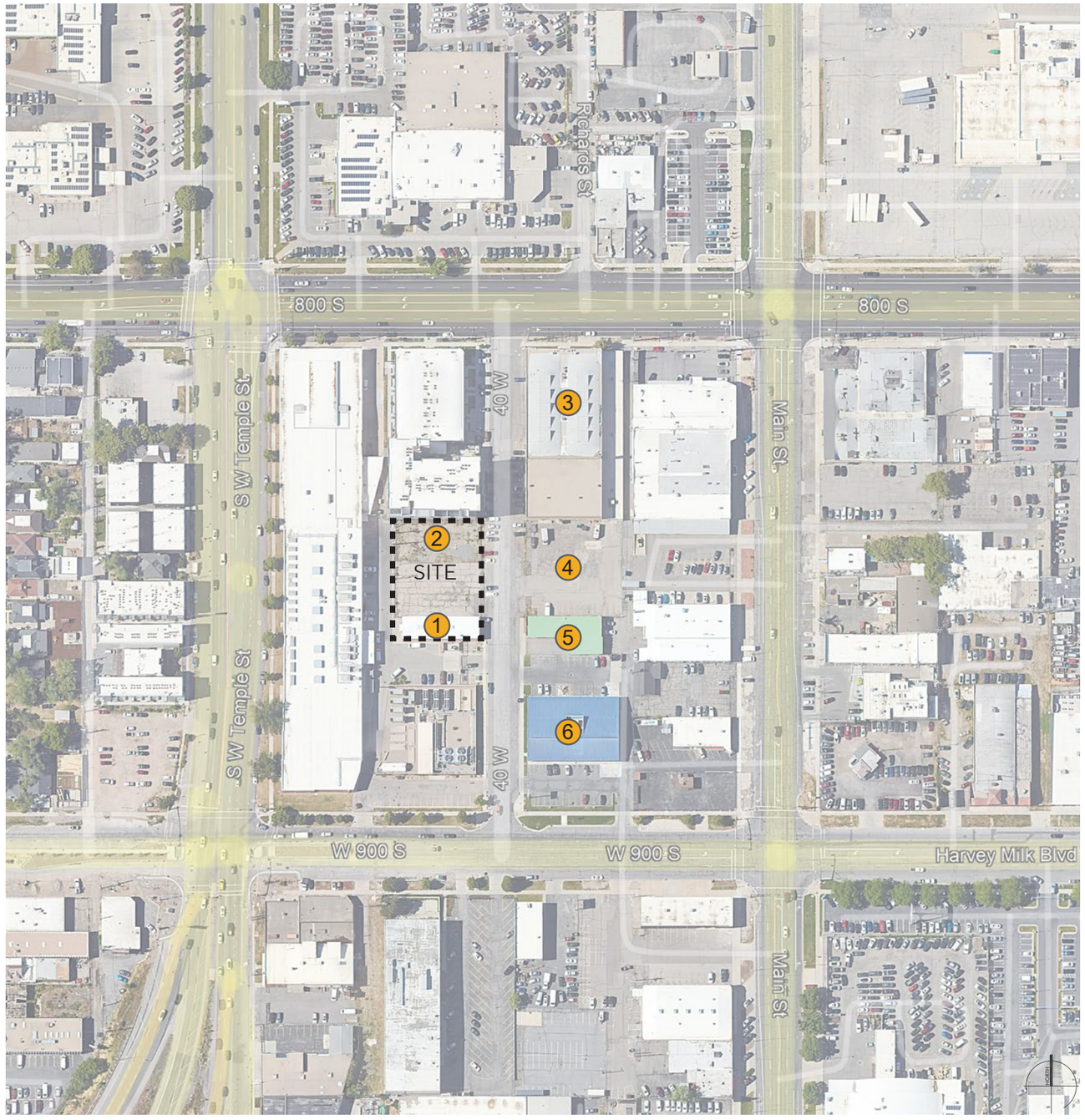
JOB NO.: 2022-0255
DATE: 03-20-2024

SALT LAKE CITY DEVELOPMENT STANDARDS

Subject	Code	Current Zoning		Provided
General Plan/ Zoning	Section 21A.30.030	D-2		D-2
Lot Size Requirements		No minimum lot area or lot width shall be required		0.49 AC
Minimum Yard Requirements		Front & Corner Side Yard	No minimum, maximum setback 10'. Ground floor residential uses shall have a front yard setback of a minimum of 8' and a maximum setback of 16'	No setback is provided along Richards Street. The design situates artist studios and workshops along the sidewalk, creating an active and dynamic street front that encourages interaction between pedestrians and artists, fostering a vibrant community connection.
		Interior Side Yards & Rear Yards	No minimum, maximum 10' when adjacent to zoning district with max 35' height.	North interior side yard: 6' South interior side yard: 15' Rear yard: 5'-2"
Max Building Height		Max 120' Buildings over 65' are subject to design review		82'-8"
Impact Controls and General Restrictions	Section 21A.30.010	Refuse Control must be covered and enclosed or screened. Lighting shall be design to not create glare on adjacent properties.		Refuse is fully screened inside the Parking structure. Lighting will follow code.
Restrictions on parking lots & structure		Parking shall be located behind principal buildings or incorporated into the principal building provided the parking is wrapped on street facing facades with a use allowed in the zone other than parking.		Parking is located behind studios and workshops along Richards street on the ground floor.
Mid Block Walkway		A minimum of 15' wide and include a minimum 6' wide unobstructed path. The midblock walkway may be incorporated into the building provided it is open to the public. A sign shall be posted indicating that the public may use the walkway.		15' wide Mid-block walkway with a minumum 6' wide unobstructed path is provided on the southern side of the project.
Sidewalks		Sidewalks must be a clear walking path that is a minimum of 10' wide.		A 9'-8 1/2" sidewalk is provided along Richards street including a 6' clear walkway.
Loading	Section 21A.44.070	Multi Family : 1 short Berth (80-200 du) 2 short Berths (Greater than 200)		N/A

SALT LAKE CITY DEVELOPMENT STANDARDS

Subject	Code	Current Zoning		Provided
Parking	Section 21A.44 & Salt Lake City Off-Street Parking Standards Manual	Studio	no minimum - 2 maximum	1
		1 Bedroom	0.5 minimum - 2 maximum	1
		2 Bedrooms	1 minimum - 3 maximum	1.85
		3 Bedrooms	1 minimum - 3 maximum	N/A
		Retail	1 space per 1,000 SF	N/A
		Dimensions	8'-9"x17'-6" with 23'-4" drive aisle/ 9'-0"x17'-6" with 22'-7" drive aisle	9'-0"x17'-6" with 22'-7" drive aisle
		Parking adjacent to wall/column, where door opening is impacted	Stalls that are located adjacent to a wall/column need to be 1' wider	9'-6"x17'-6"
		Driveway Width	Minimum 12' single lane and 24' for two-lane. Maximum 30'	N/A
		Minimum Accessible Spaces Required	Provide 1 per 25 parking space if the provided parking spaces is between 1 to 100.	Complies. Required: 4 stalls Provided: 4 stalls
		Bicycle	Residential Uses: 1 per 3 units Commercial Use : 1 per 4,000 SF	Complies. Required: 20 spaces if open and 10 spaces if enclosed Provided: 10 spaces The Bicycle parking is enclosed inside the parking structure.
			Each 1 bicycle parking space that is within a secure/enclosed bicycle parking facility may be used to satisfy the requirement of two (2) required bicycle parking spaces.	
			min 6' x 2' with 6" gap between the stalls	
		Electric Vehicle Parking	At least 1 parking space shall be provided for every 25 parking spaces provided. In addition, 20 % of the stalls provided shall be EV READY	Complies. Required: 22 stalls Provided: 22 stalls

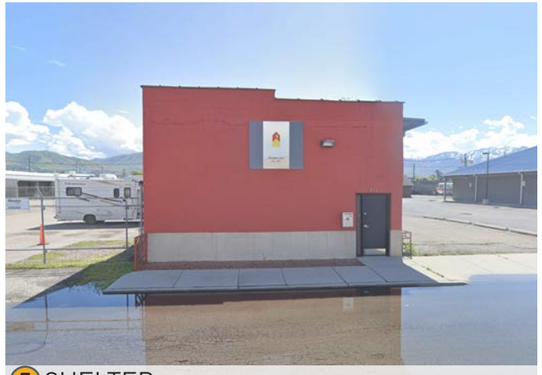


1 PHOTO LAB

2 VACANT LOT

3 EXISTING STORAGE

4 VACANT LOT



5 SHELTER

6 POST OFFICE


7 CAR SHOWROOM

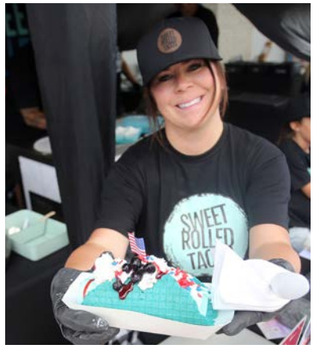
8 RETAIL


9 MULTI FAMILY APARTMENTS


10 INDUSTRIAL


11 VIEW FROM 800 S LOOKING WEST


12 VIEW FROM 800 S LOOKING EAST



BOYER

ELLIOTT SOUTH
SALT LAKE CITY, UT

RESIDENT LIFESTYLE

AO

07

JOB NO.: 2022-0255
DATE: 03-20-2024

BOYER

ELLIOTT SOUTH
SALT LAKE CITY, UT

CONCEPTUAL 3D RENDERING - SOUTH BUILDING
VIEW LOOKING NORTH ON RICHARDS STREET TOWARDS SOUTH BUILDING

AO

JOB NO.: 2022-0255
DATE: 03-20-2024

BOYER COMPANY
800 S SLC APARTMENTS

PROJECT DESCRIPTION - SOUTH BUILDING

A 62 UNIT 5-STORY TYPE III-A RESIDENTIAL BUILDING OVER A 2-STORY TYPE I-A PARKING PODIUM WITH AN ADDITIONAL 1 LEVEL OF SUB-T PARKING.

GROSS LAND AREA:	± 0.49	ACRES
BUILDING AREA (GFA):	± 131,026	SQ. FT.
BUILDING AREA (EXCLUDING PARKING):	± 76,826	SQ. FT.
PARKING AREA:	± 54,200	SQ. FT.
TOTAL UNITS:	62	UNITS
DENSITY:	127	DU/AC
FAR:	3.55	FAR
WORK STUDIO:	320	SQ. FT.
EXISTING ZONING:	D-2 (DOWNTOWN SUPPORT DISTRICT)	

BUILDING SUMMARY - SOUTH BUILDING

UNITS	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	LEVEL 7	-	%	TOTAL
S1	2	-	-	-	-	-	3%	2
1 BR	2	0	0	0	0	-	3.2%	**2**
A1	2	2	2	2	2	-	16%	10
A1.2	1	0	0	0	0	-	2%	1
A2	2	2	2	2	2	-	16%	10
A2.2	1	1	1	1	1	-	8%	5
A3	1	-	-	-	-	-	2%	1
1 BR	7	5	5	5	5	-	43.5%	**27**
B1	0	1	1	1	1	-	6%	4
B1.2	1	1	1	1	1		8%	5
B2	3	3	3	3	3	-	24%	15
B3	1	2	2	2	2	-	15%	9
2 BR	5	7	7	7	7	-	53.2%	**33**
TOTAL	14	12	12	12	12	-	100%	**62**

UNIT SUMMARY - SOUTH BUILDING

UNIT TYPE	UNIT NET AREA	NUMBER OF UNITS	TOTAL NET AREA (NOT INCLUDING BALCONY)	BALCONY AREA	PRIVATE OPEN SPACE AREA (BALCONY)	%	UNIT %
S1	452	2	904	0	0	3.2%	3.2%
A1	734	10	7,340	45	450	16%	43.5%
A1.2	684	1	684	45	45	2%	
A2	811	10	8,110	60	600	16%	
A2.2	943	5	4,715	60	300	8%	
A3	724	1	724	0	0	2%	
B1	975	4	3,900	56	224	6%	53.2%
B1.2	1,117	5	5,585	56	280	8%	
B2	1,138	15	17,070	65	975	24%	
B3	960	9	8,640	45	405	15%	
TOTAL	930	62	57,672		3,279	100%	

PARKING SUMMARY - SOUTH BUILDING

RESIDENTIAL PARKING PROVIDED

UNIT TYPE	NO. OF UNITS	REQUIRED RATIO	STALLS REQUIRED
STUDIO	2	1.00	2
1 BEDROOM	27	1.00	27
2 BEDROOM	33	1.85	61
TOTAL	62	1.45 S/DU	90

PARKING PROVIDED

RESIDENTIAL		90
TOTAL STALLS PROVIDED	RATIO: 1.45	**90**

ACCESSIBLE STALLS REQUIRED

	PROVIDED STALLS	REQUIRED RATIO	STALLS REQUIRED
RESIDENTIAL	90	1 PER 25	4
TOTAL ACCESSIBLE PARKING REQUIRED			**4**
TOTAL ACCESSIBLE PARKING PROVIDED			**4**

NOTE: THE FIRST ADA STALL IS VAN ACCESSIBLE.

EVCS PARKING REQUIRED

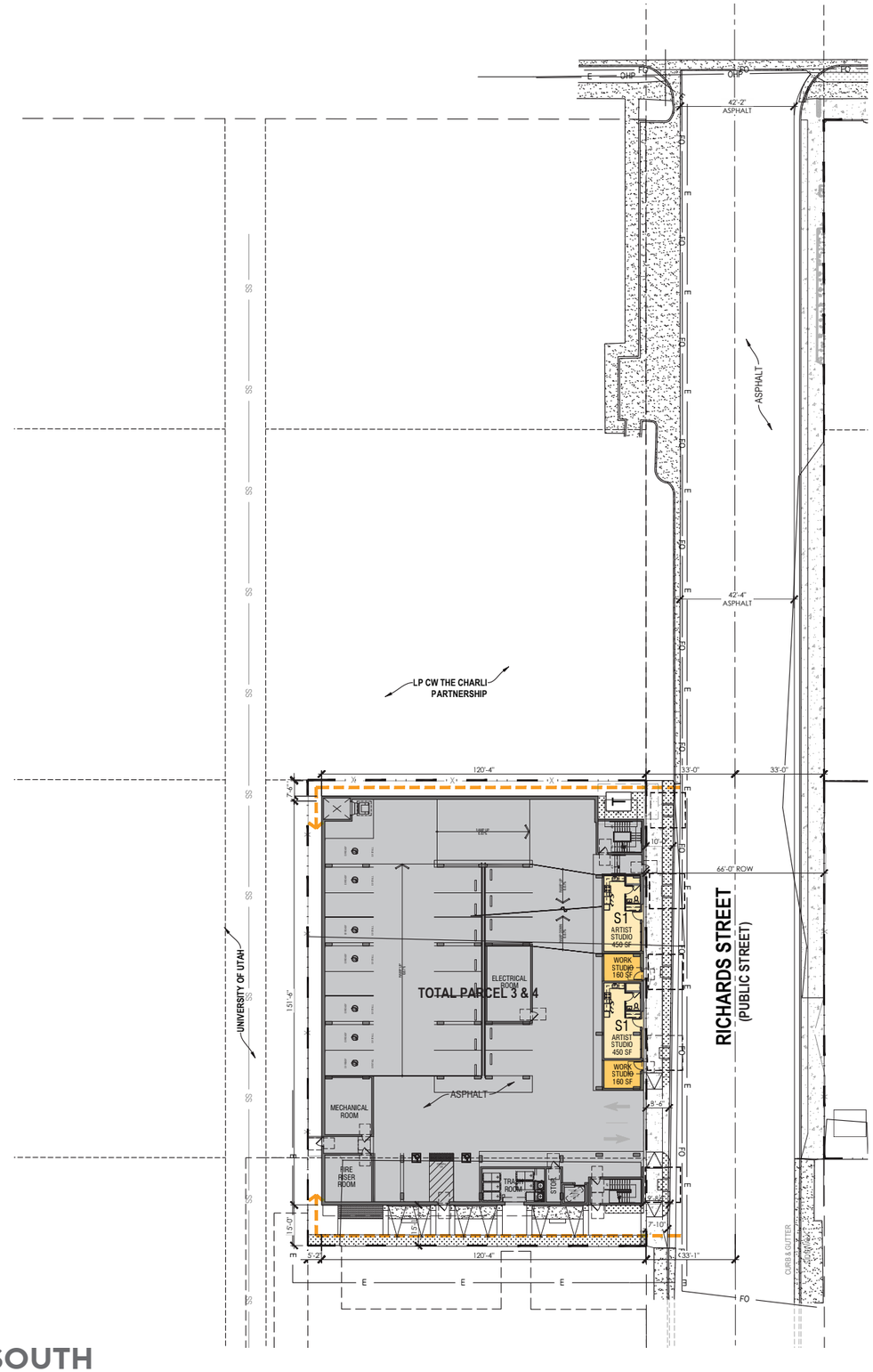
	PROVIDED STALLS	REQUIRED RATIO (1 EV PER 25 STALLS)	EV CAPABLE STALLS REQUIRED
RESIDENTIAL	90	EVSE: 1 PER 25	4
		EV-READY: 20 %	18
TOTAL EVCS PARKING REQUIRED			**22**
TOTAL EVCS PARKING PROVIDED			**22**

NOTE: THE REQUIRED EVCS ARE INCLUDED IN THE PROVIDED PARKING COUNT.

BICYCLE REQUIREMENTS

		REQUIRED RATIO	STALLS REQUIRED
RESIDENTIAL	62	1 PER 3 UNITS	20
TOTAL BICYCLE REQUIRED			**20**
TOTAL BICYCLE PROVIDED			**10**

NOTE: Secure/Enclosed bicycle parking - Each one (1) bicycle parking space that is within a secure/enclosed bicycle parking facility may be used to satisfy the requirement of two (2) required bicycle parking spaces.

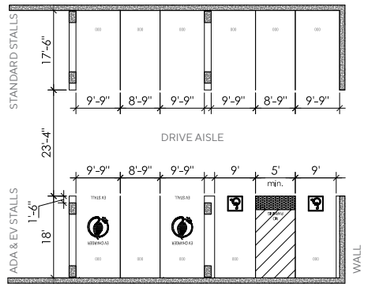


LEGEND

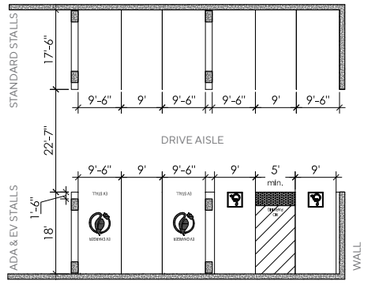
- RETAIL
- LEASING & AMENITIES
- RESIDENTIAL
- PARKING
- 150' FIRE HOSE PULL

PARKING DIMENSIONS

NORTH BUILDING



SOUTH BUILDING



Per Salt Lake City Off-Street Parking Manual and code Section 21A.44:
North Building Stalls Dimensions: 8'-9"x17'-6" with 23'-4" drive aisle.
South Building Stalls Dimensions: 9'-0"x17'-6" with 22'-7" drive aisle.
The stall width for parking spaces located adjacent to walls or columns, where door opening is impacted, shall be one foot (1') wider to accommodate door opening clearance and vehicle maneuverability.

BOYER

ELLIOTT SOUTH
SALT LAKE CITY, UT

CONCEPTUAL SITE PLAN

0 50' 100' 150'

AO

10

SCALE: 1"=50'
JOB NO.: 2022-0255
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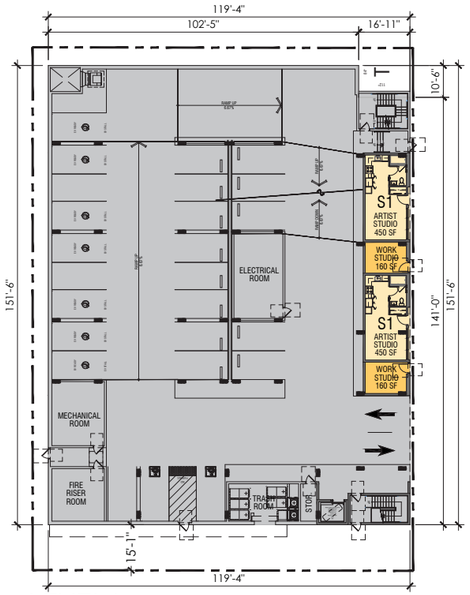
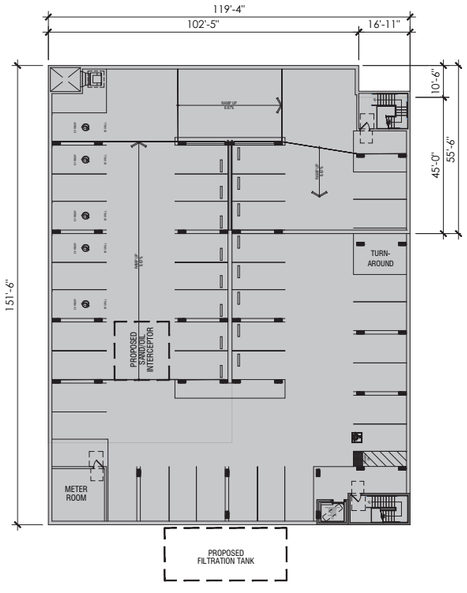


LEVEL 1



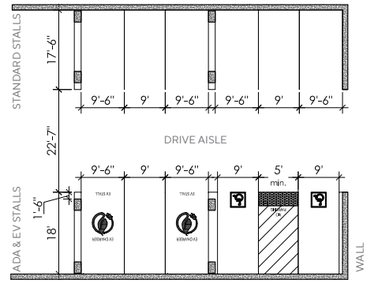
SUB-T PARKING

LEGEND

- RETAIL
- LEASING & AMENITIES
- RESIDENTIAL
- PARKING

PARKING DIMENSIONS

SOUTH BUILDING



Per Salt Lake City Off-Street Parking Manual and code Section 21A.44:
South Building Stalls Dimensions: 9'-0"x17'-6" with 22'-7" drive aisle.
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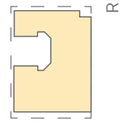

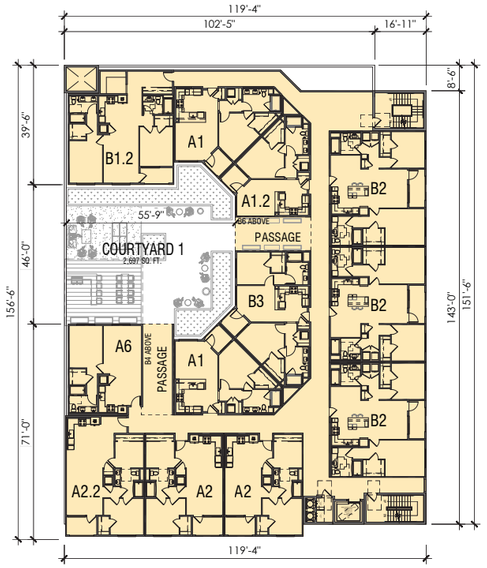

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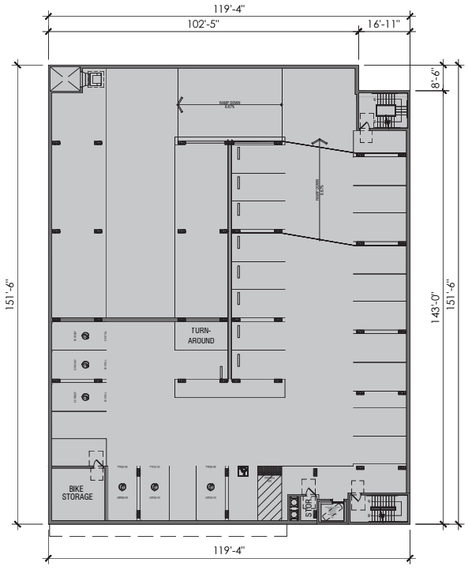


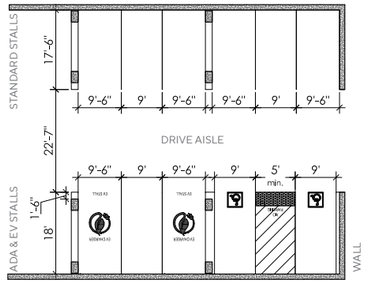
LEVEL 2

LEGEND

- RETAIL
- LEASING & AMENITIES
- RESIDENTIAL
- PARKING

PARKING DIMENSIONS

SOUTH BUILDING



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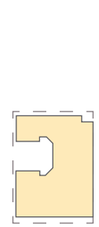
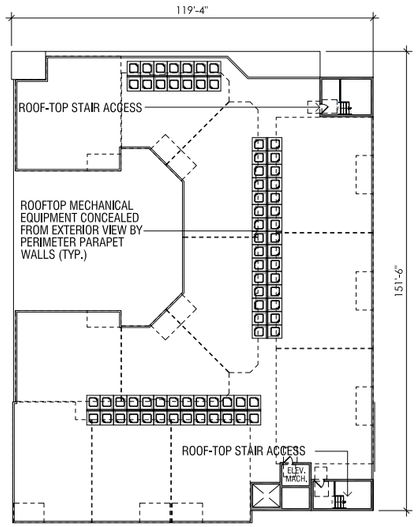
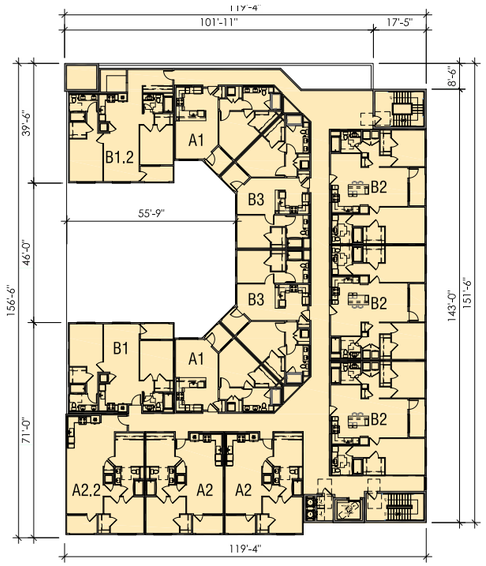


LEGEND

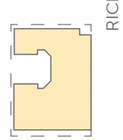
- RETAIL
- LEASING & AMENITIES
- RESIDENTIAL
- PARKING



ROOF



LEVELS 4-7



BOYER

ELLIOTT SOUTH
SALT LAKE CITY, UT

CONCEPTUAL PLANS

0 50′ 100′ 150′

AO

13

SCALE: 1'=50"
JOB NO.: 2022-0255
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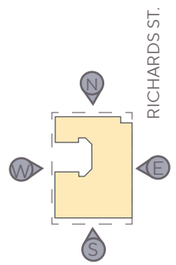
EAST ELEVATION

SOUTH ELEVATION

WEST ELEVATION

NORTH ELEVATION



BOYER

ELLIOTT SOUTH

SALT LAKE CITY, UT

CONCEPTUAL ELEVATIONS

0 50' 100' 150'

AO

14

SCALE: 1'=50"
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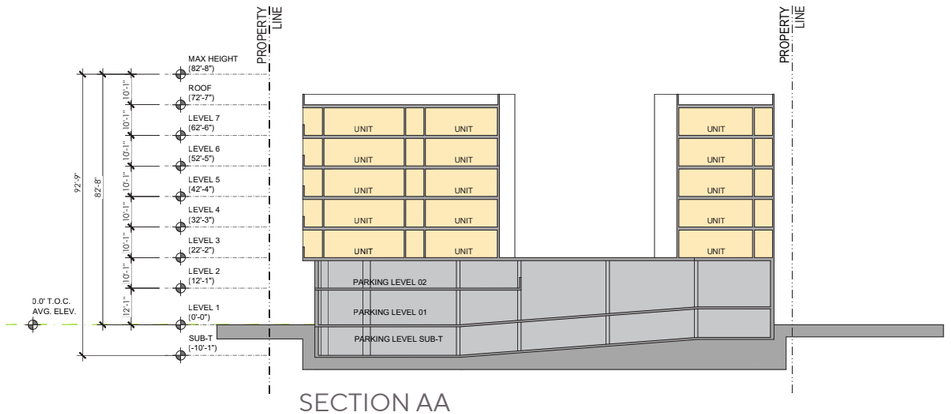
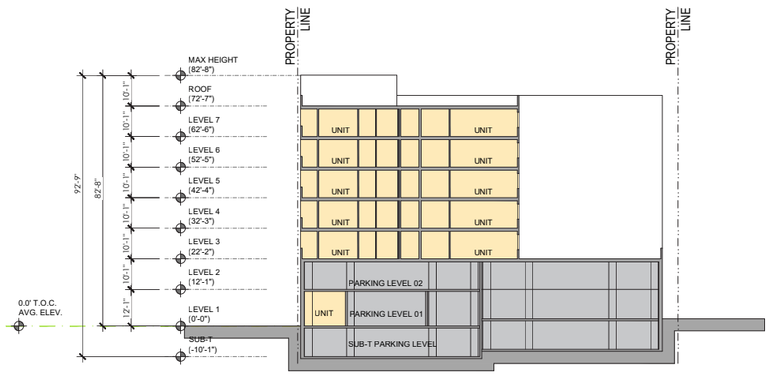
LEGEND

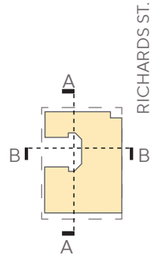
- RETAIL
- LEASING & AMENITIES
- RESIDENTIAL
- PARKING



SECTION AA



SECTION BB



BOYER

ELLIOTT SOUTH
SALT LAKE CITY, UT

CONCEPTUAL SECTIONS

0 50′ 100′ 150′

AO

15

SCALE: 1"=50"
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1. STUCCO
LIGHT SAND FINISH

5. PERFORATED
METAL PANEL RAILING

2. THIN BRICK
LIGHT SAND FINISH

6. ALUMINUM AWNING
CUSTOM
BLACK OR DARK BRONZE

3. FIBER CEMENT BOARD
EQUITONE TECTIVA
OR EQUIVALENT

7. ALUMINUM STOREFRONT
CUSTOM
BLACK OR DARK BRONZE

4. FIBER CEMENT BOARD
NICHIHA LATURA
V-GROOVE OR
EQUIVALENT

8. VINYL WINDOW
BLACK OR DARK BRONZE

A. SW 7006
EXTRA WHITE

B. SW 9153
MOONLIT ORCHID

C. SW 6258 TRICORN
BLACK

DESIGN STANDARDS 21.A.37

STANDARDS (CODE SECTION)	D-2	NOTES
Ground floor use (%) (21A.37.050.A.1)	80	The Project follows Option 2 (Ground Floor use + Visual interest)
Ground floor use + visual interest (%) (21A.37.050.A.2)	70/20	Single-story studio and work spaces and pedestrian entrance takes up 73% of the street-level frontage along Richards Street, extending 15 feet deep into the building. The street-facing facade sides ensure complete visual engagement through a diverse selection of materials, distinct architectural elements, variations in the facade, and the use of color.
Building materials: ground floor (%) (21A.37.050.B.1)	80	Project Complies. The ground floor façades wall area facing Richards Street are cladded in durable materials. This includes porcelain tile, metal panels & fiber cement boards along with stucco.
Building materials: upper floors (%) (21A.37.050.B.2)	50	The Upper Levels façades fronting Richards Street include a min of 50 % durable materials. This includes porcelain tile, metal panels & fiber cement boards along with stucco.
Glass: ground floor (%) (21A.37.050.C.1)	60	The uses that face Richard street, which are a mix of dwelling units, artist studios and building services, the level of porosity was limited to allow for privacy, but also safety. To compensate for this while meeting the intent for visual interest and ground floor activation at a pedestrian scale, the facades are proposing increased architectural detailing, and the implementation of artistic elements, like murals, ensuring a stimulating engagement with both transient and resident users. Glazing percentage on the Ground floor along Richard Street : 386 SF (Glazing) / 1480 SF (Total) = 26% Art Installation on the Ground Floor along Richard Street : 220 SF (Art Murals) / 1480 SF (Total) = 15% Art Installation on the Ground Floor along South Mid-Block Connection : 330 SF (Art Murals) / 1342 SF (Total) = 24.5%
Glass: upper floors (%) (21A.37.050.C.2)	50	The upper floors of the proposed project are exclusively residential in use and we've tried to provide as much glazing surface area as it would be conducive with the intended use. Porosity remains above 40% for the expanse of whole floors, but it is raised to above 50% if we consider the surface area of individual units, all of which are provided with generous fenestration and a virtual "floor-to-ceiling" openness in every space but for back-of-house / bathrooms etc.
Reflective Glass: ground floor (%) (21A.37.050.C.1)	0	Comply. Glazing will be selected and specified to be Low-E for high thermal efficiency, yet low reflectivity. We propose 0% "Reflective" glass on the Ground Floor.
Reflective Glass: upper floors (%) (21A.37.050.C.2)	50	Comply. Glazing will be selected and specified to be Low-E for high thermal efficiency, yet low reflectivity. We propose 0% "Reflective" glass on the upper floors.
Building entrances (feet) (21A.37.050.D)	40	Along Richards Street, four doorways are spaced at a maximum of 40-foot intervals across the ground floor. These serve as entrances to two work studios, and two pedestrian entries that directs to the residential lobby and parking. Furthermore, this side of the building also includes two emergency staircase entrances for added safety and compliance.
Blank wall: max length (feet) (21A.37.050.E)	20	The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the ground floor level along Richards street is 20'.
Street facing facade: max length (feet)(21A.37.050.F)	200	Complies. The facade facing Richards Street spans 143 feet.

DESIGN STANDARDS 21.A.37

STANDARDS (CODE SECTION)	D-2	NOTES
Upper floor step back (feet) (21A.37.050.G.1)	X	The 7-story building does not meet the 10-foot step back regulation along Richards Street.
Lighting: exterior (21A.37.050.H)	X	Complies. All proposed lighting will be shielded and directed down per code.
Lighting: parking lot (21A.37.050.I)	X	Not applicable. Project is not located adjacent to a residential zone or land use. However, the parking structure lighting proposed is internal ceiling mounted and will comply with code.
Screening of mechanical equipment (21A.37.050.J)	X	Complies. All mechanical equipment to be screened from public view and sited to minimize their visibility and impact.
Screening of service areas (21A.37.050.K)	X	Complies. All service areas, loading docks, refuse containers and similar areas are fully screened from public view.
Parking garages or structures (21A.37.050.M)	1	The Parking structure is wrapped by uses along Richards street.
	2	Façade elements align to parking levels. No sloped surface is visible from the public street, trail or open space.
	3	Ramp between levels located on the western façade. Only a small portion of the ramp on the eastern side is acreened by uses and not visible from the adjacent public streets or public spaces.
	4	Elevators and stairs to be highlighted through the use of architectural features and change of material, color and texture.
	5	Signage and wayfinding will be integrated with the architecture of the parking structure and be architecturally compatible with the design. The entrances of public parking structures will be clearly signed from public streets.
	6	Interior parking garage lighting will not produce glaring sources toward adjacent properties while providing safe and adequate lighting levels.
	7	Where a driveway crosses a public sidewalk, the driveway will have a different color, texture, and paving material than the sidewalk.
	8	The ground floor of the parking structure is wrapped along Richards street with permitted or conditional uses.
	9	Vent and fan locations are not placed on parking garage façades facing public streets or public spaces, or adjacent to residential uses, to the greatest extent practicable.
	10	The parking structure is adjacent to a midblock walkway on the south where pedestrian oriented elements are provided.

DESIGN STANDARDS 21.A.37

STANDARDS (CODE SECTION)	D-2	NOTES
Tree canopy coverage % (21A.37.050.P.1)	40	Tree canopies cover the specified amount of 40% coverage at maturity.
Minimum vegetation standards (21A.37.050.P.2)	X	Minimum vegetation standard met. Refer to sheet 23 for calculations.
Street trees (21A.37.050.P.3)	X	Street trees have been planted to meet requirement of 1 tree every 30 feet.
Soil volume (21A.37.050.P.4)	X	Soil volume meets requirements. Refer to sheet 23 for calculations.
Minimum curb cuts (21A.37.050.P.5)	X	Curb cuts have been used and side walk material shall remain the same.
Overhead cover (21A.37.050.P.6)	X	Overhead coverage has been provided.
Streetscape landscaping (21A.37.050.P.7)	X	Vegetation along streetscape complies with requirements.
Height transitions: angular plane for adjacent zone district (21A.37.050.Q)	X	N/A
Horizontal articulation (21A.37.050.R)	X	The proposed building Elevations are articulated horizontally with the introduction of a combination of niches (2>= deep and >4' wide) and a colonnades. The base of the building facing Richard St. is organized in 3 distinct masses that contain the residential element for the ground floor, with the recessed main building entrances (deeper than 4', as required) and a vehicular entrance, both covered with awnings or recessed soffits in excess of 3' beyond the exterior wall. The upper floors are also comprised of enriched architectural detailing and massing articulation that breaks plane with the both the perceived "base" of the building that spans L1 & L2, but also for every side of the typically double loaded "fingers" that surround the elevated courtyards. Between the recessed balconies and the architectural features described above, there is no contiguous wall area on any floor that doesn't horizontally articulate for expanses larger than 60'.

DESIGN REVIEW 21.A.59.050

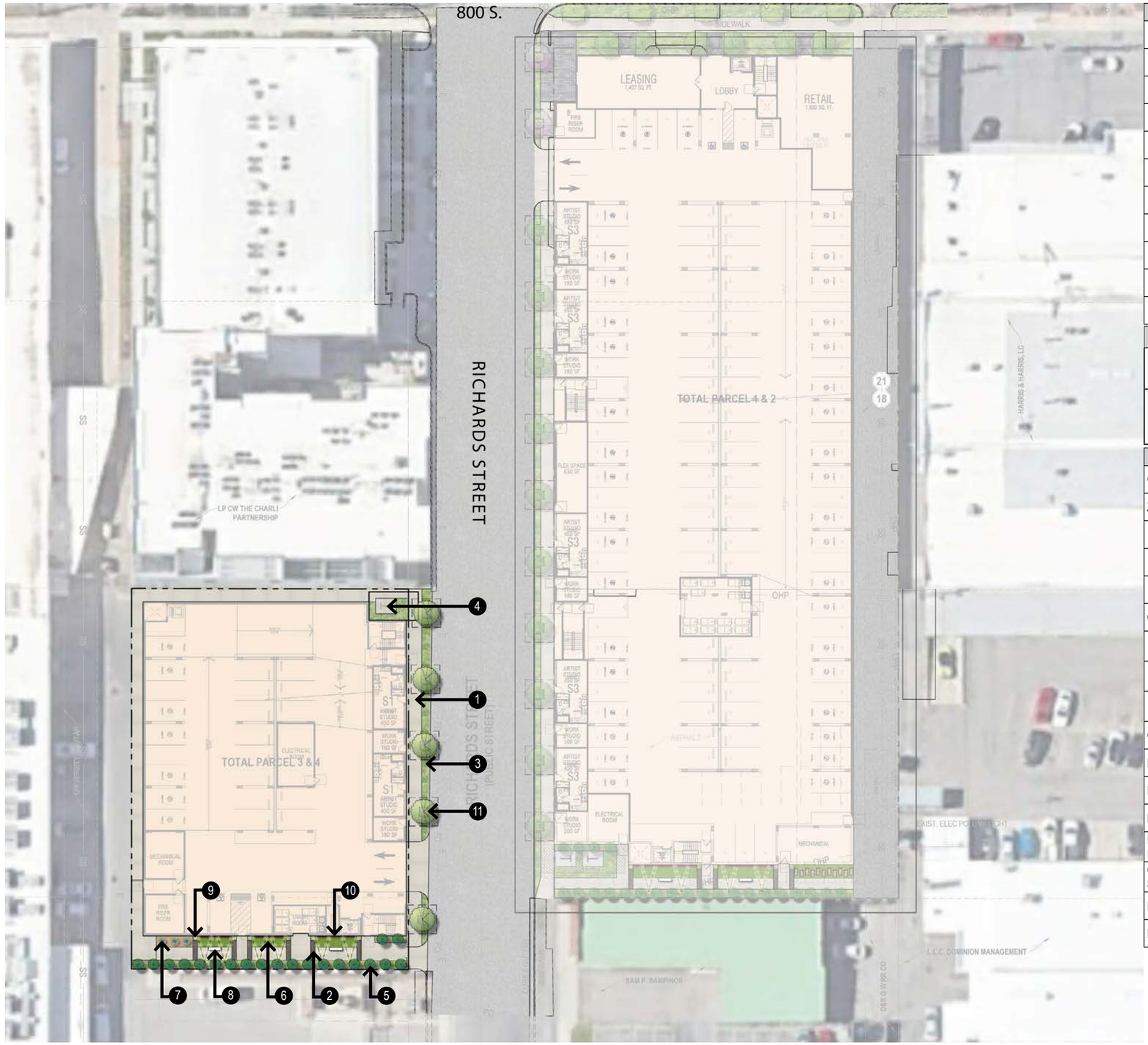
STANDARDS	RESPONSE
A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.	The proposed project follows the D-2 Downtown support commercial district guidelines. It provides a total of 62 units thus fostering the development of a sustainable urban neighborhood. The project promotes pedestrian interaction with a collection of public art/murals that are proposed along its public edges along Richard Street and the mid-block pedestrian connection along its South Edge, in addition to the live-work Artist studios on its ground floor that aim to become a "theme" for Richards Street in coordination with the identical spaces provided on the North Phase of Elliot on the same street.
B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot. 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot) 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood. 3. Parking shall be located within, behind, or to the side of buildings.	All of the main uses for the building are clearly oriented along its main street front, and all Primary entrances are located on Richards street, in direct access from the sidewalk. The building is designed to be near the public sidewalk, enhancing its accessibility and engagement with the pedestrian environment. All provided Parking facilities are screened by occupiable spaces and public art installations along Richard Street, ensuring they are concealed from plain sight and contribute to a visually appealing streetscape. The mid-block connection to the south, is treated in the same architectural style and with the same enchanced materiality that is used along the building's street-front edge.
C. Building façades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction. 1. Locate active ground floor uses at or near the public sidewalk. 2. Maximize transparency of ground floor facades. 3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions. 4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor	The ground level along Richards Street strives to provide for a rich, stimulating experience for the neighborhood and transient users alike, creating a vibrant and dynamic streetscape that encourages engagement and connectivity, with all the ground floor uses having a direct connection to the public sidwalk. Wherever the porosity of the ground floor would advercerially impact the privacy of the residential units proposed, the projects proposes large areas of public art that should make-up for public interactions that will not come at the expense of the resident's privacy. The architectural detailing along all public edges of the building is sensitive to the human scale and is comprised of durable, enchanced materials that are consistent with the historic urban fabric of the City.
D. Large building masses shall be divided into heights and sizes that relate to human scale. 1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis. 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height. 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals. 4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.	1. The building's massing and height is directly relatable to existing and proposed multifamily and mixed-use development in immediate proximity but also within a 1 mile radius. 2. The building's massing is broken up both in horizontal and vertical planes, with a distinct base that relates to pedestrian urban experience, but also an architectural language with clean, deliberate moves that break up the mass in interesting portions or distinct building sections, further articulated visually by changes in materiality and color. 3. Numerous architectural details enhance the richness of the facade, including inset balconies with distinct materiality, plannar articulation between floors and enchanced materiality that goes beyond a simple, surface application, with deep reveals around most fenestration. 4. The ground floor strive to maximize the available fenestration for the proposed uses, yet in locations where the porosity of the ground floor would advercerially impact the privacy of the residential units proposed, the projects proposes large areas of public art that should make-up for public interactions that will not come at the expense of the resident's privacy.
E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include: 1. Changes in vertical plane (breaks in facade); 2. Material changes; and 3. Massing changes.	N/A

DESIGN REVIEW 21.A.59.050

STANDARDS	RESPONSE
F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements: 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30"); 2. A mixture of areas that provide seasonal shade; 3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted; 4. Water features or public art; 5. Outdoor dining areas; and 6. Other amenities not listed above that provide a public benefit.	The project does not provide privately-owned public spaces.
G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline. 1. Human scale • Utilize step backs to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans. • For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height. 2. Negative impacts: • Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors. • Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height. • Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building. 3. Cornices and rooflines: • Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition. • Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings. • Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.	1. Human Scale The building Is designed with a distinct base, middle and top, focusing on interacting with pedestrian traffic. The first two floors along all street-front edges of the building are a gesture down to human scale, with materiality and articulation reminescent of 20th Century Main Street Americana, with the upper floors being further separated and set-back by carving out the inset balconies along Richard Street, b but also the main courtyard along the west façade. Each of the changes in plane and massing, are emphasized by changes in the materiality and color. The super-structure that houses the majority of the residential program, further steps back from the podium base and is additionally articulated through a distinct, yet compatible with the base architectural rhythm. 2. Negative Impacts There are no commercial or residential neighboring developments that would benefit from stepping the building down to meet them at their level: the majority of neighboring buildings are industrial / automotive dealerships and the single residential development to our North is of comparable height and mass with the proposed development. As such there are no established outdoor commercial, educational or residential uses to be impacted by shading due to the new development for a window of time that would be of concern. 3. Roofline The Mass of the building was broken down with angled furred-out wall treatments, to provide the illusion of an articulated parapet & building roofline without further increasing the height of the building, promoting the cohesive idea of the light gray jacket wrapping around the whole structure. The angled walls on the top of the building allow for a pulsating, dynamic play with reflections and shadows as the daylight changes, altering the way viewers perceive both the massing and the roofline of the project.
H. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or mid-block walkway.	Parking entrance is located along Richards street and it takes into consideration safe pedestrian connections to the sidewalk.

DESIGN REVIEW 21.A.59.050

STANDARDS	RESPONSE
I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)	Waste and recycling containers, mechanical equipment, storage areas are located inside the parking structure.
J. Signage shall emphasize the pedestrian/mass transit orientation. 1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building. 2. Coordinate signage locations with appropriate lighting, awnings, and other projections. 3. Coordinate sign location with landscaping to avoid conflicts.	Signage will be provided to clearly identify the retail as well as the main residential entrance and to identify wayfinding for the parking garage. All signage location will be designed with the existing and new landscaping in mind so as not to obstruct wayfinding and views.
K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals. 1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan. 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky. 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.	Lighting Design Review Standard is noted by the design team. Street Lighting will be designed in accordance to the Salt Lake City lighting Master Plan. Outdoor lighting will be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky. Lighting will coordinated with potential signage locations to maximize the attention of the tenant's as well as providing safe pedestrian walkways along Richards Street and 800 South.
L. Streetscape improvements shall be provided as follows: 1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester. 2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards: • Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur. • Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table. • Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI). • Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City. • Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities. • Asphalt shall be limited to vehicle drive aisles. (Ord. 14-19, 2019)	1. In compliance with the City's urban forestry guidelines, a Street Tree @ 30' on center has been provided in the selection of an "American Elm" @ 2.5" min Caliper. 2. Hardscape has been delineated by material change for both public and private uses. Public Sidewalks have been identified as a City Standard detail and finish, while a modular concrete paver with a multi color blend and texture has been selected to address project entries. Paver color selections will meet or exceed SR value of .33 or greater. And all hardscape materials, in both Ground floor condition and podium conditions have been selected to compliment the Architectural design style, finishes and color. As for Asphalt, it has been limited to just Drive aisle only.



KEYNOTE LEGEND	
1	PEDESTRIAN SIDEWALK
2	INTEGRAL COLORED CONCRETE PAVING
3	PROPOSED PLANTING AREA
4	TRANSFORMER LOCATION - PER CIVIL ENGINEER
5	SCREENING HEDGE
6	K9 LAWN
7	ACCENT PLANTING AT D.G. AREA
8	BENCH SEATING
9	GREEN SCREEN
10	MURAL PANEL
11	4' X 4' TREE WELL

TREE LEGEND

SYM	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	GINKGO BILOBA GINGO	3" CAL	

SALT LAKE CITY DATA (D-2 ZONE)

CITY CODE: CH. 21A.30

ZONED AS DOWNTOWN SUPPORT DISTRICT (D-2)

TOTAL SITE AREA	0.49 ACRES (21,344 S.F.)	
ON-SITE LANDSCAPE AREA	3,929 S.F.	
	REQUIRED	**PROVIDED**
OPEN SPACE ON-SITE:		
FRONT YARD PLANT COVERAGE 33% REQUIRED	-	-
SIDE YARD PLANT COVERAGE 33% REQUIRED	1,619 S.F X 33% = 534 S.F.	544 S.F. = 34%
REAR YARD PLANT COVERAGE 33% REQUIRED	1,892 S.F. X 33% = 624 S.F.	797 S.F. = 42%
GENERAL:		
DROUGHT TOLERANT TREE SPECIES	MIN. 80%	100%
DROUGHT TOLERANT SHRUB SPECIES	MIN. 80%	100%
PARK STRIP:		
REQUIRED TREES - 1 PER 30' OF STREET FRONTAGE (CLUSTERED OR LINEAR)	173 L.F. / 30' = 5	5
CARRIAGEWAYS PROVIDED THROUGH PARK STRIP	N/A	N/A
REQUIRED PLANT COVERAGE	33%	56%
PAVING MATERIALS	MAX 67%	16%

BOYER

ELLIOTT SOUTH
SALT LAKE CITY, UT

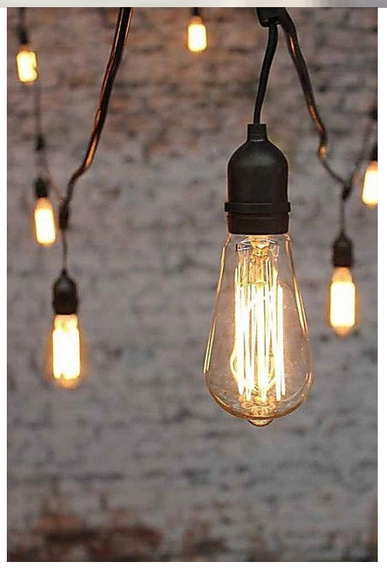
LANDSCAPE SITE PLAN - LEVEL 1

0 50' 100' 150'

AO

21

SCALE: 1'=50"
JOB NO.: 2022-0255
DATE: 03-20-2024



LIGHTING LEGEND

- PEDESTRIAN BOLLARD LIGHTING
- OVERHEAD FESTOON LIGHTING

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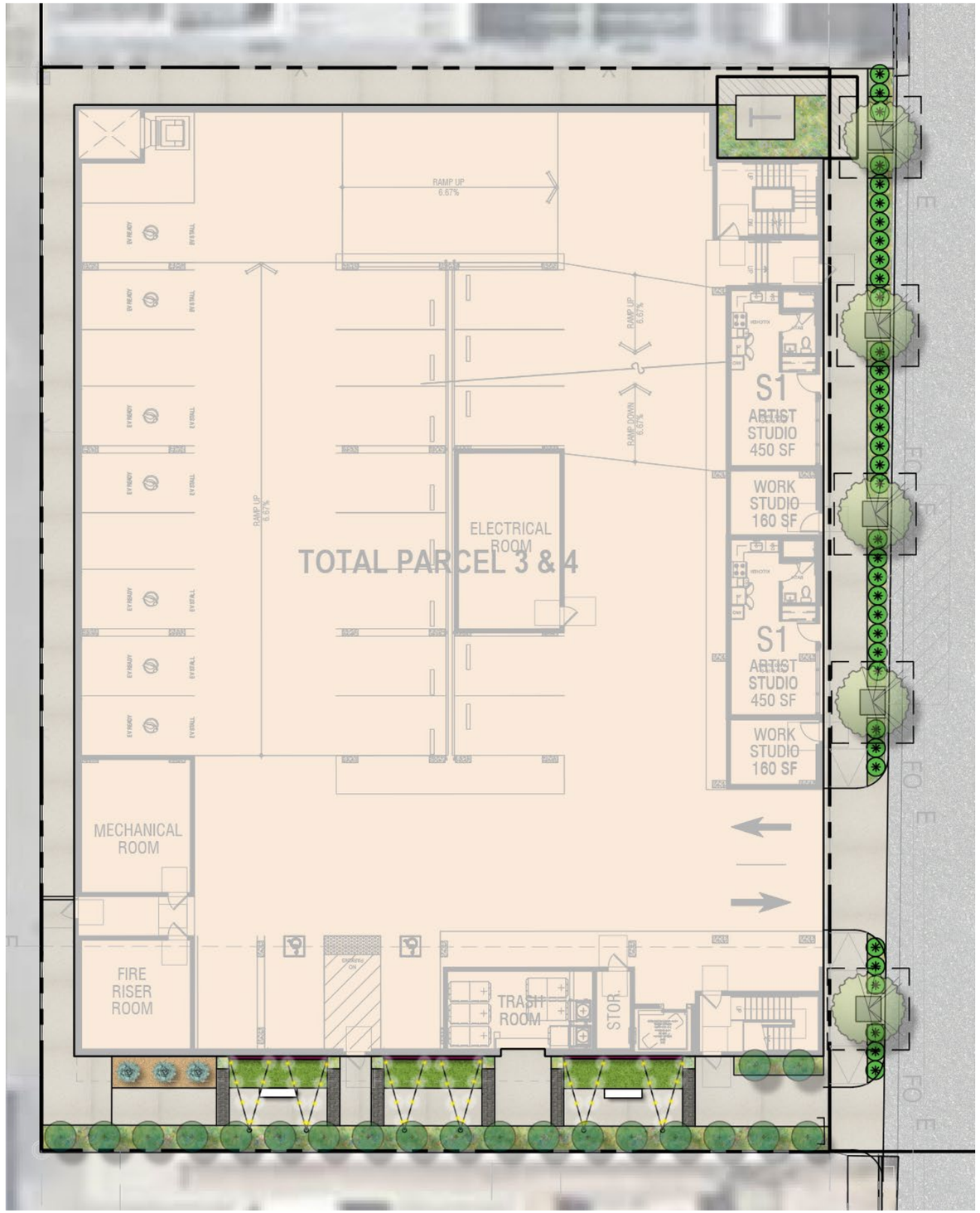
LANDSCAPE LIGHTING PLAN

0 10′ 20′ 30′

AO

22

SCALE: 1′=10″
JOB NO.: 2022-0255
DATE: 03-20-2024



SOIL VOLUME CALCULATION

REQUIRED	PROPOSED
750 - 1,000 ft^3	169 S.F. PER TREE WELL X 4.5' SOIL DEPTH = 760.5 FT^3

VEGETATION CALCULATION (R.O.W.)

REQUIRED	PROPOSED
MIN. 33% COVERAGE	56%

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ELLIOTT SOUTH
SALT LAKE CITY, UT

LANDSCAPE SHRUB & SOIL VOLUME

0 10′ 20′ 30′

AO

SCALE: 1′=10″
JOB NO.: 2022-0255
DATE: 03-20-2024

GENERAL DESIGN NOTES

1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
2. LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF SALT LAKE CITY REQUIREMENTS.
3. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT-OF-WAY) SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF SALT LAKE CITY REQUIREMENTS.
4. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS.

IRRIGATION DESIGN NOTES

THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATIC UNDERGROUND SYSTEM. BACKFLOW PREVENTION DEVICES WILL BE INSTALLED TO MEET APPLICABLE CODES. THE IRRIGATION SYSTEM WILL BE DESIGNED AND CONSTRUCTED TO BE AS EFFICIENT IN TERMS OF WATER USAGE AS POSSIBLE. WATER CONSERVATION PRODUCTS (HIGH EFFICIENCY / LOW PRECIPITATION) AND AN EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROL SYSTEM WILL BE INCORPORATED INTO THE SYSTEM DESIGN.

PLANTING DESIGN NOTES

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPORATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF SALT LAKE CITY GUIDELINES.

BOYER

ELLIOTT SOUTH
SALT LAKE CITY, UT

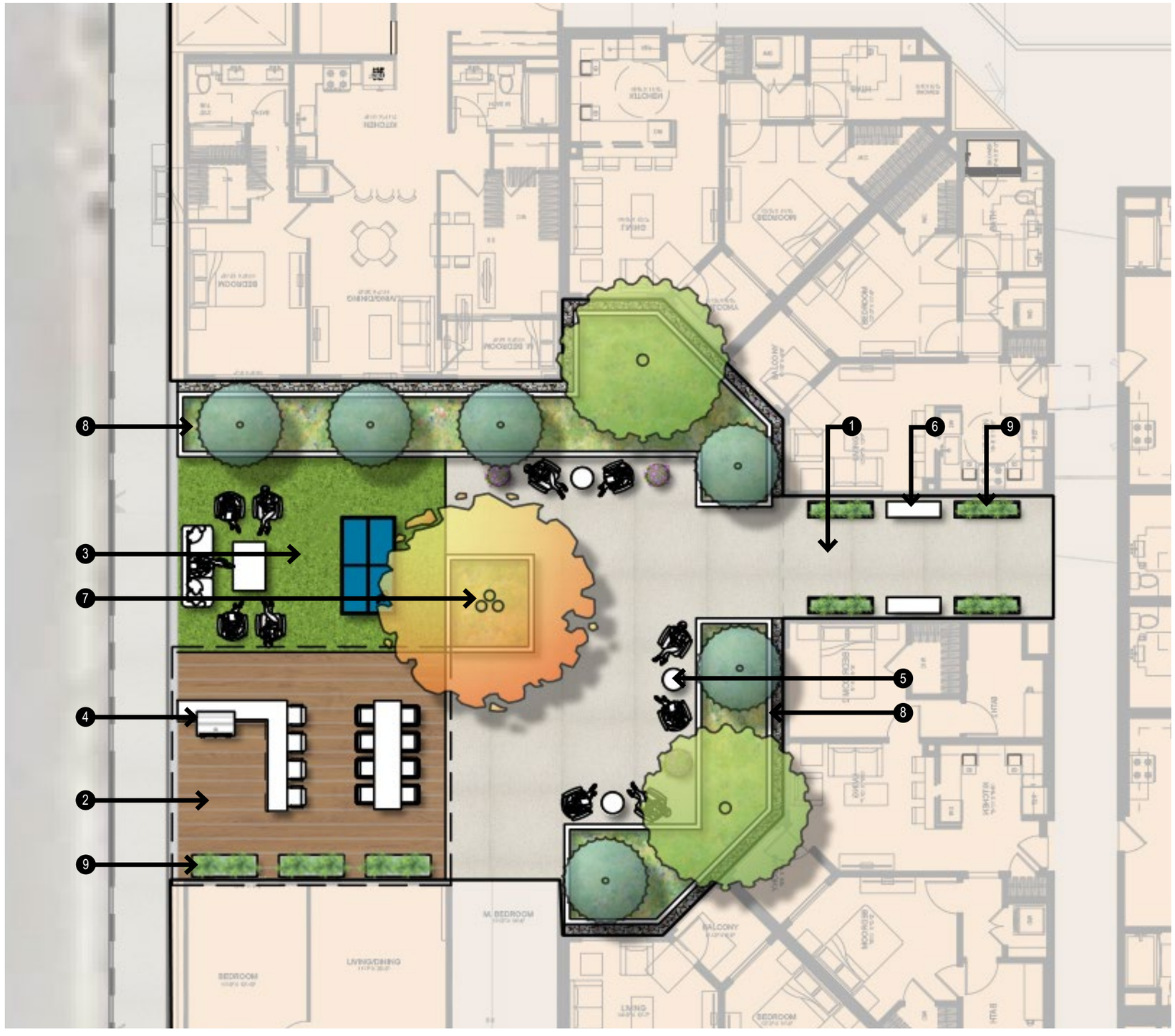
LANDSCAPE SITE PLAN - LEVEL 2

0 50' 100' 150'

AO

24

SCALE: 1"=50'
JOB NO.: 2022-0255
DATE: 03-20-2024



KEYNOTE LEGEND

1	CONCRETE PAVING
2	ENHANCED PAVERS
3	ARTIFICIAL TURF WITH LOUNGE SEATING AND GAME TABLE
4	SHADED BBQ AREA WITH SEATING
5	LOUNGE SEATING AREA
6	BENCH SEATING
7	SPECIMEN TREE IN RAISED PLANTER
8	RAISED PLANTER
9	LINEAR POTTERY

TREE LEGEND

SYM	BOTANICAL NAME COMMON NAME	SIZE	DESCRIPTION
	GINKGO BILOBA 'AUTUMN GOLD' MAIDENHAIR TREE	4" CAL.	
	ULMUS AMERICANA 'VALLEY FORGE' AMERICAN ELM	2.5" CAL	
	CERCIS CANADENSIS EASTERN REDBUD	4" CAL	

SHRUB LEGEND

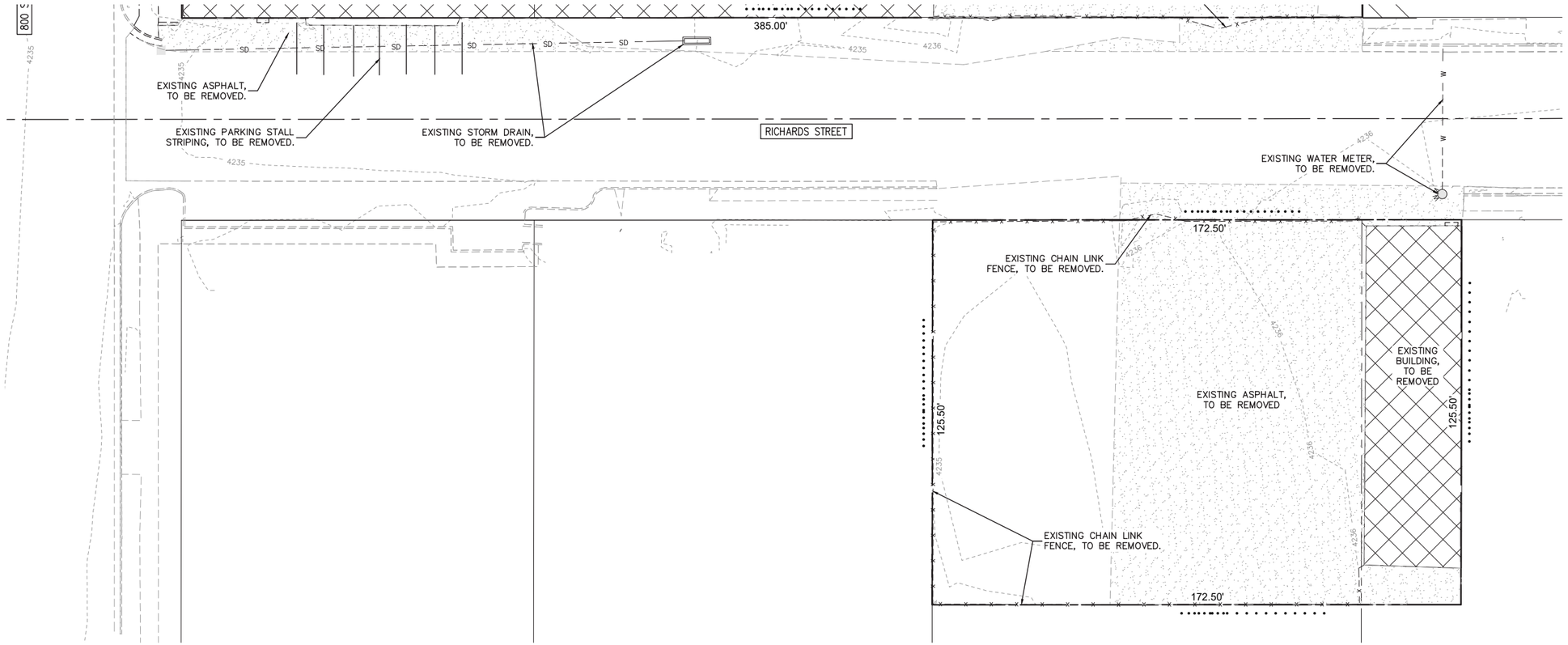
SYM	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	CORNUS SANGUINEA 'ARCTIC FIRE DOGWOOD' TATARIAN DOGWOOD	5 GAL.	
	CORTADERIA SELLOANA 'PUMILA' DWARF PAMPAS GRASS	5 GAL.	
	EUONYMUS F. 'EMERALD GAIETY' EMERALD GAIETY EOUNYMUS	5 GAL.	
	HOSTA 'PATRIOT' PLANTAIN LILY	5 GAL.	
	HYDRANGEA MACROPHYLLA FRENCH HYDRANGEA	5 GAL.	
	IBERIS SEMPERVIRENS CANDYTUFT	1 GAL.	
	LAVENDULA ANGUSTIFOLIA ENGLISH LANVENDER	5 GAL.	
	FESTUCA 'ELIJAH BLUE' ELIJAH BLUE FESCUE	1 GAL.	
	MISCANTHUS SINENSIS 'MORNING LIGHT' CHINESE SILVER GRASS	5 GAL.	
	NASSELLA TENUISSIMMA MEXICAN FEATHER GRASS	5 GAL.	
	OPHIOPOGON PLANISCAPUS 'NIGRESCENS' BLACK MONDO	1 GAL.	
	PRUNUS LAUROCERASUS 'SCHIPKAENSIS' SCHIPKA CHERRY LAUREL	15 GAL.	
	THUJA OCCIDENTALIS 'NORTH POLE' AMERICAN ARBORVITAE	5 GAL.	
	YUCCA GLORIOSA SPANISH DAGGER	15 GAL.	

SEE COVER SHEET FOR PROJECT LEGEND.

SHEET LEGEND

EXISTING BUILDING, TO BE REMOVED

EXISTING ASPHALT, TO BE REMOVED



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ELLIOTT SOUTH

SALT LAKE CITY, UT

CONCEPT EXISTING SITE / DEMOLITION PLAN

0 40' 80' 120'

CIR CIVIL ENGINEERING + SURVEYING

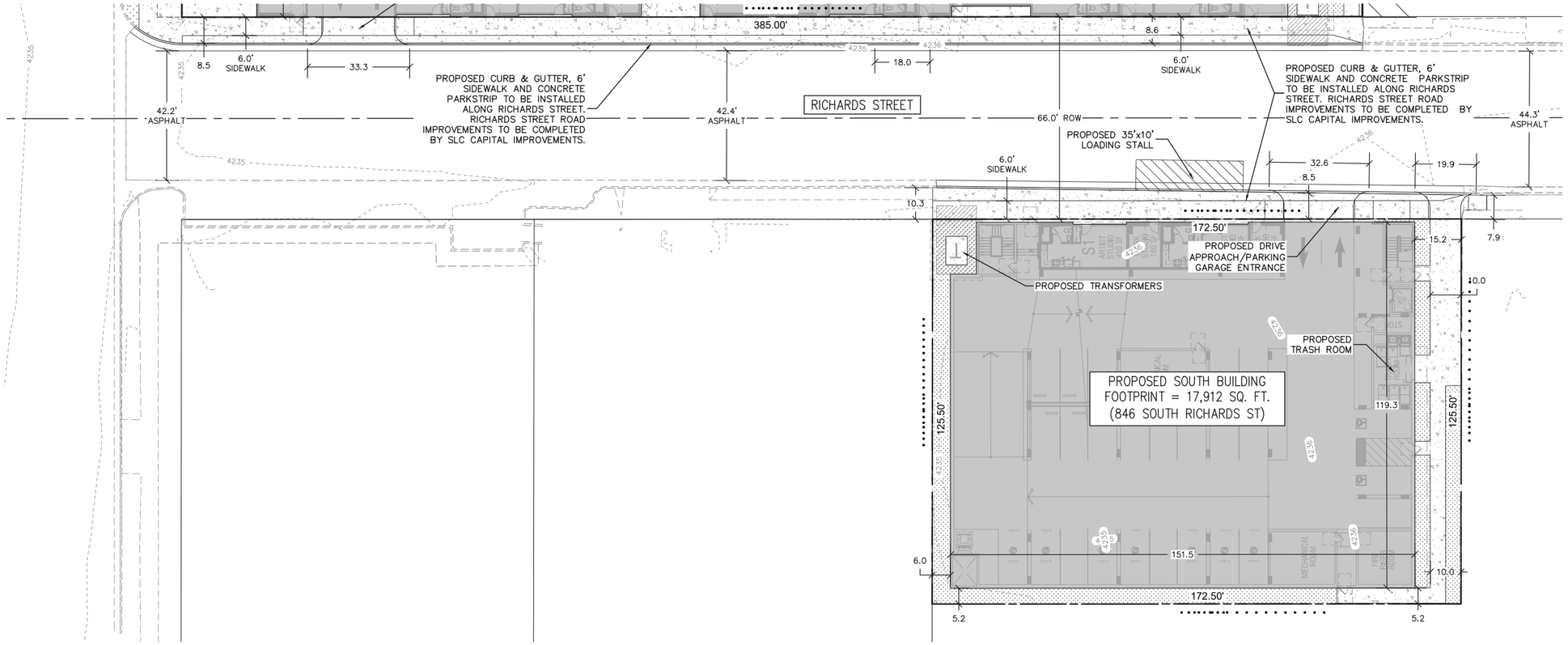
26

SCALE: 1"=40'
JOB NO.: 2022-0255
DATE: 03-20-2024

SEE COVER SHEET FOR PROJECT LEGEND.

SHEET LEGEND

- PROPOSED CONCRETE
- EXISTING ASPHALT
- PROPOSED LANDSCAPING

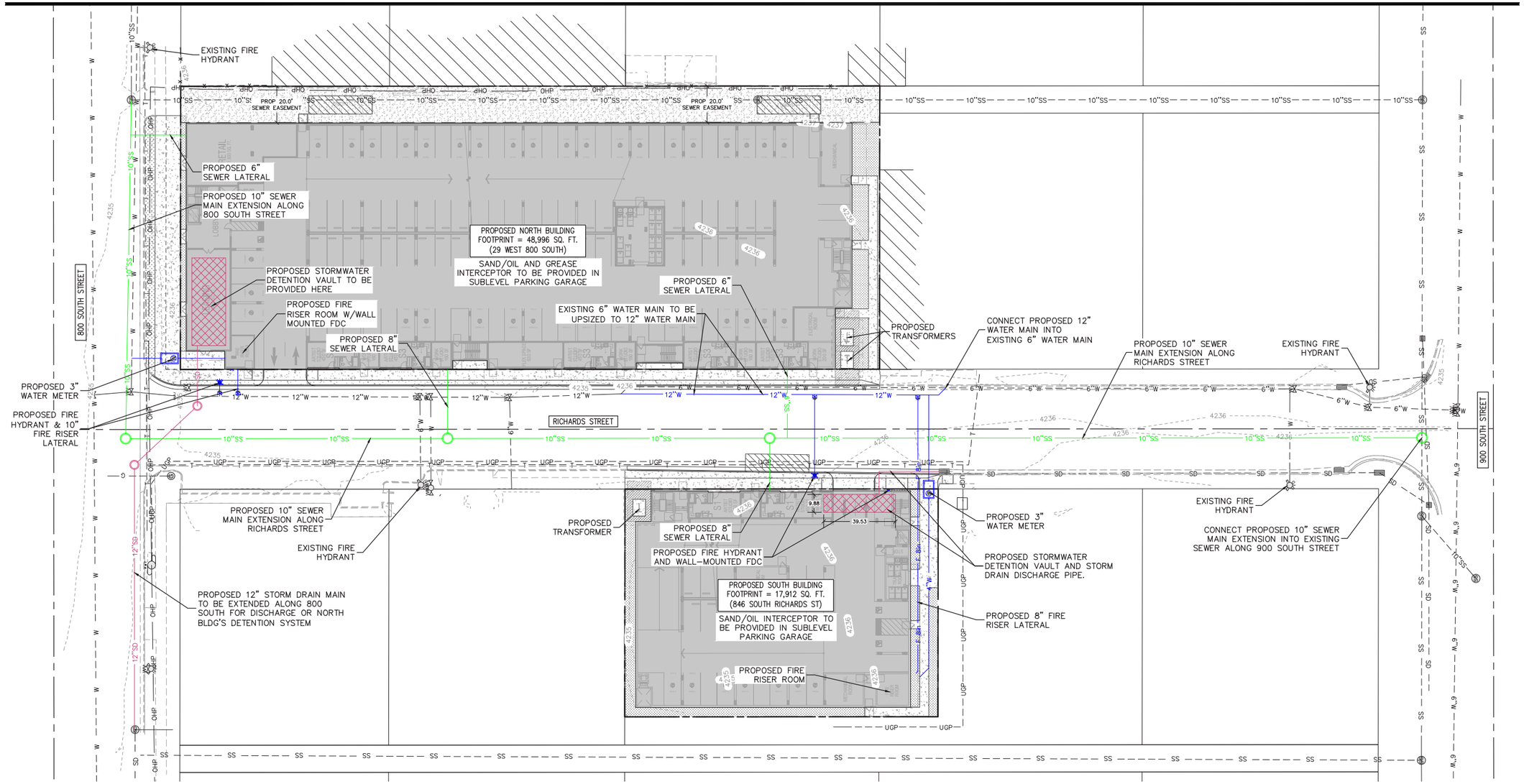


SEE COVER SHEET FOR PROJECT LEGEND.

FIRE FLOW ANALYSIS:

NORTH BUILDING:
BUILDING AREA: 341,724 SF
TYPE IA/VB CONSTRUCTION
FIRE SPRINKLER REDUCTION: 50%
REQUIRED FIRE FLOW: 4,000 GPM
HYDRANTS REQUIRED: 4
HYDRANTS PROVIDED: 6

SOUTH BUILDING:
BUILDING AREA: 123,654 SF
TYPE IA/VB CONSTRUCTION
FIRE SPRINKLER REDUCTION: 50%
REQUIRED FIRE FLOW: 4,000 GPM
HYDRANTS REQUIRED: 4
HYDRANTS PROVIDED: 5



BOYER

ELLIOTT SOUTH
SALT LAKE CITY, UT

CONCEPT UTILITY PLAN

0 60' 120' 180'

CIVIL ENGINEERING + SURVEYING

28

SCALE: 1"=60'
JOB NO.: 2022-0255
DATE: 03-20-2024

THANK YOU!

BOYER